

ZONING BOARD OF APPEALS APPLICATION

REFERRED TO TP&Z _____

Applicant TYSON LAUME
Street 321 WEIR ST. Town GLASTONBURY CT
Telephone 203-922-2152
Legal Representative (if any) N/A
Address 321 WEIR ST. GLASTONBURY CT. 06033

Date Filed & Fee Paid
Date Hearing Scheduled
Sign Deposit Paid On
Will Post Own
Sign Taken On
Sign Inspected on Site

Exact Location of Property Involved 321 WEIR ST. RR
Assessor's Key # (If No Street # Indicated)
Legal Property Owner TYSON LAUME

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- 1. For relief (a variance) from the restrictions imposed in Section(s) of the Glastonbury Zoning Regulations.
2. For a special exception as provided in Section 8.2b of the Glastonbury Zoning Regulations.
3. From an adverse ruling by the Building Official, Glastonbury.
4. For the approval required by the State of Connecticut agency named below.

Describe in detail (in space provided on page 2 or on a separate sheet) what it is you want to do. State why this violates the Section(s) of the Glastonbury Zoning Regulations cited above. If a variance is sought, what hardship related to your particular property is claimed? If a special exception is sought, explain how all requirements for this exception have been met. If this is an appeal from a ruling of the Building Official/ Zoning Enforcement Officer state why you feel the ruling is wrong. (Use back of this form, if necessary)

We/I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

[Signature]
Applicant

Owner, If Not Applicant (Required)

9/4/2020
Date

Date

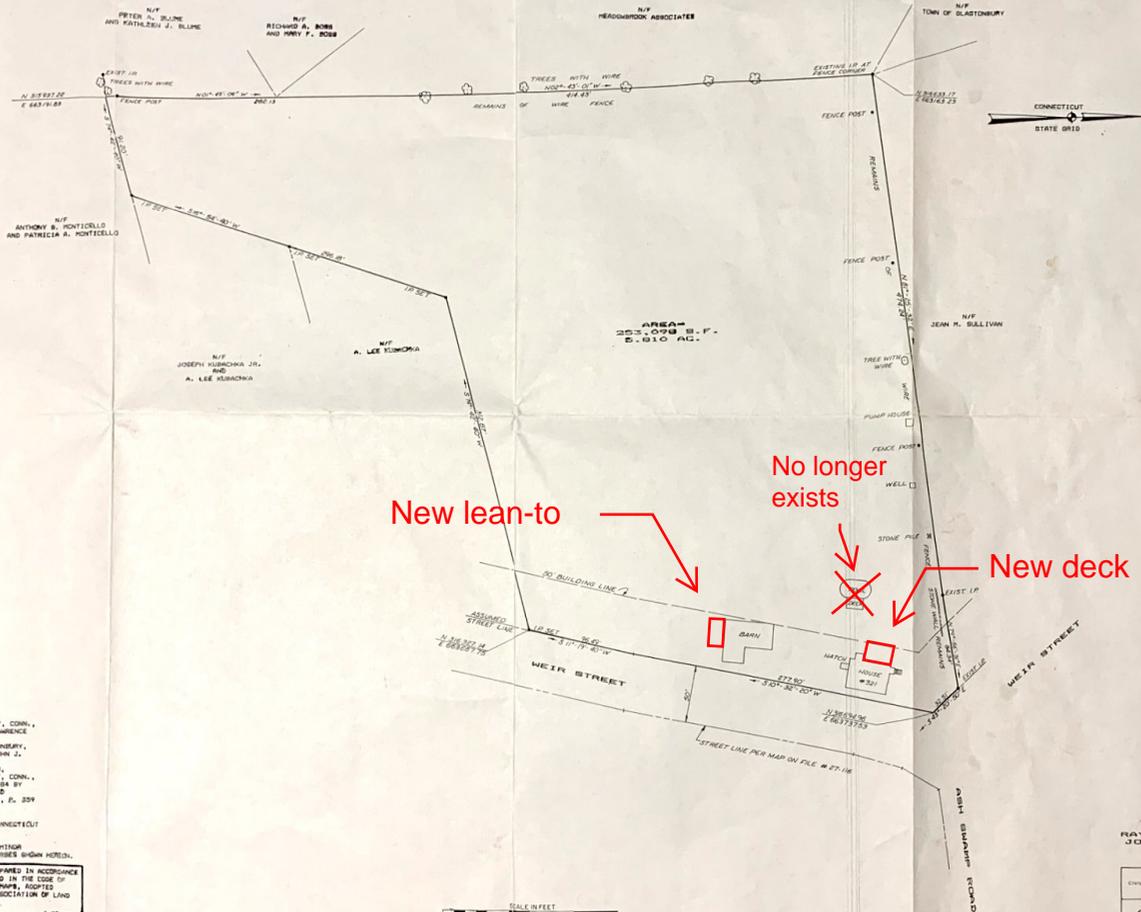
321 Weir Street Zoning Board of Appeals Application Narrative

Permit Application: #B-20-0910 – Deck

Application # B-20-0910 is for a new 16'x26' pressure treated deck to be built off the West elevation of the house. It will be anchored to the house then set on 5 new concrete piers. It will have to sets of stairs that lead to the yard and then a new egress door leading into the house. The rails will be 48" tall and surround the outside edge of the deck and stairs. This Permit will require a special exception as the original structures are built within the 50ft building setback. The deck will be built away from the existing roadway. Per Building code 8.2b this project meets the criteria of Section 13.9 of these Regulations within as line which the project is not nearer to the lot lines than the existing building, and does not provided such extension or enlargement provides for a permitted use containing no more dwelling units than the existing building. See attached plot plan and drawings for reference.

Permit Application: #B-20-0914 – Lean-to

Application # B-20-0914 is for a new 16'x28' lean-to off the south elevation of the existing barn. This lean-to will be used for tractor storage and a future solar installation. It will consist of 4 – 6"x6" pine posts sitting on new concrete piers and then 2"x10" rafters and a metal roof. This Permit will require a special exception as the original structures are built within the 50ft building setback. The lean-to will be built parallel to the existing roadway. But no closer than the existing barn. Per Building code 8.2b this project meets the criteria of Section 13.9 of these Regulations within as line which the project is not nearer to the lot lines than the existing building, and does not provided such extension or enlargement provides for a permitted use containing no more dwelling units than the existing building. See attached plot plan and drawings for reference.



New lean-to

No longer exists

New deck

REFERENCE IS MADE TO MAPS TITLED:

1. SOME LAND OF ATWOOD C. PAGE, GLASTONBURY, CONN., SCALE 1"=40', DATED NOVEMBER, 1947 BY LAWRENCE E. HEMSEL, L.S., D-277 (TITLE NO. 271187).
2. MAP PREPARED FOR RAYMOND CHAPMAN, GLASTONBURY, CONN., SCALE 1"=40', DATED 1-14-23 BY JOHN G. ROZDZICKI, C.E.
3. SUBDIVISION PLAN HEADWATER ASSOCIATES, PREPARED FOR CDC ASSOCIATES, GLASTONBURY, CONN., SCALE 1"=40', DATED 10-20-62, REVISED 1-19-64 BY REGGION & HEARLE, C.E., T.S. & L.S., 8 AND 10-20-62 RECORDED IN VOL. 87, P. 540 AND VOL. 124, P. 359 OF GLASTONBURY TOWN RECORDS.

COORDINATES AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATES SYSTEM.

STOCK WALLS AND/OR WIRE FENCES MAY HAVE HADOR THEREAFTER BETWEEN THE PRINCIPAL CORNERS SHOWN HEREON.

I HEREBY CERTIFY THAT THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS, ADOPTED DECEMBER 10, 1978 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

REGISTRATION NO. 3744 BY DATE 1-27-08



DUTTON ASSOCIATES, LLC
 James W. Dutton, II
 Principal
 87 Laurel Road, Glastonbury, Connecticut 06033
 Tel: 860-432-8881 Fax: 860-432-8881
 info@duttonassociates.com

MAP PREPARED FOR
RAYMOND H., JR. & JOAN C. CHAPMAN
 GLASTONBURY, CT

LUCHS & BECKERMAN
 CIVIL ENGINEERS PLANNERS LAND SURVEYORS
 GLASTONBURY, CONNECTICUT
A-66-153-11ND
 DATE 1-14-08 PLAN 1-27-08

321 WEBER ST GLASGOWVILLE CT
DECK PLANS

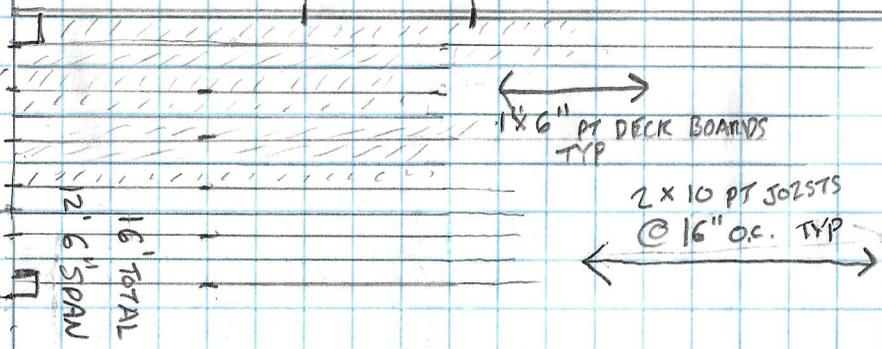
EXT ENTRY

HOUSE

NEW EGRESS DOOR
34"

U SIMONS STRONG TIE
FACE MOUNT JOIST
HANGER
@ EACH JOIST BOTH ENDS

2x10 PT NAILED
← ATTACHED TO SILL BEAM



BATHROOM
BUMP OUT

← 2x10" PT JOISTS
@ 16" OC SPACING TYP.

← RISE (7)
TREAD (11)
BOTH STAIRS



5'6" SPACE

4x4" PT POST

RAILING
4x4 POST

(2) - 2x10" PT GIRDER

3'6" OVERHANG

1x6 TOP RAIL

26'

FACE NAILED

HEADER

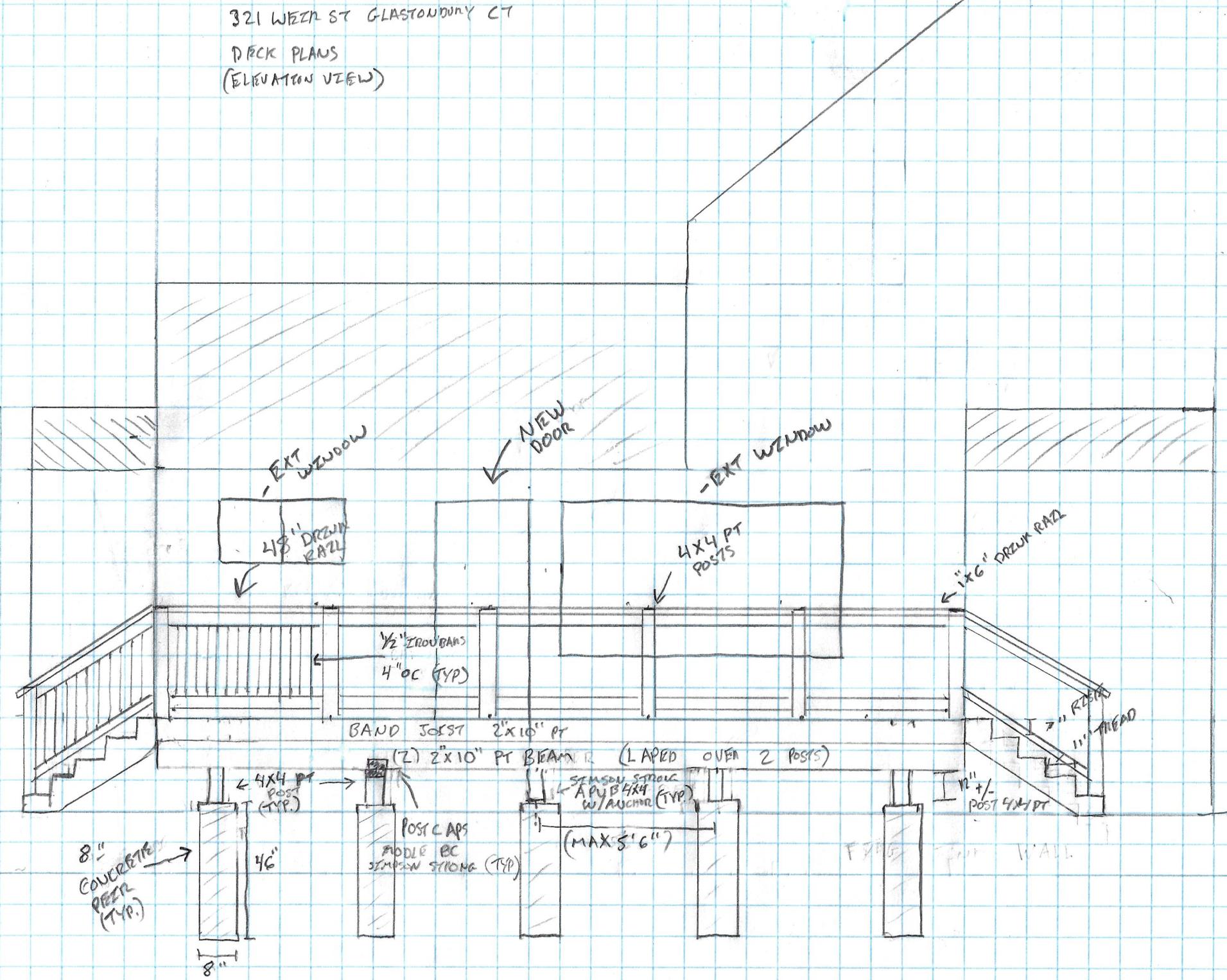
END OF WALL

4x4" PT RAILINGS
POSTS

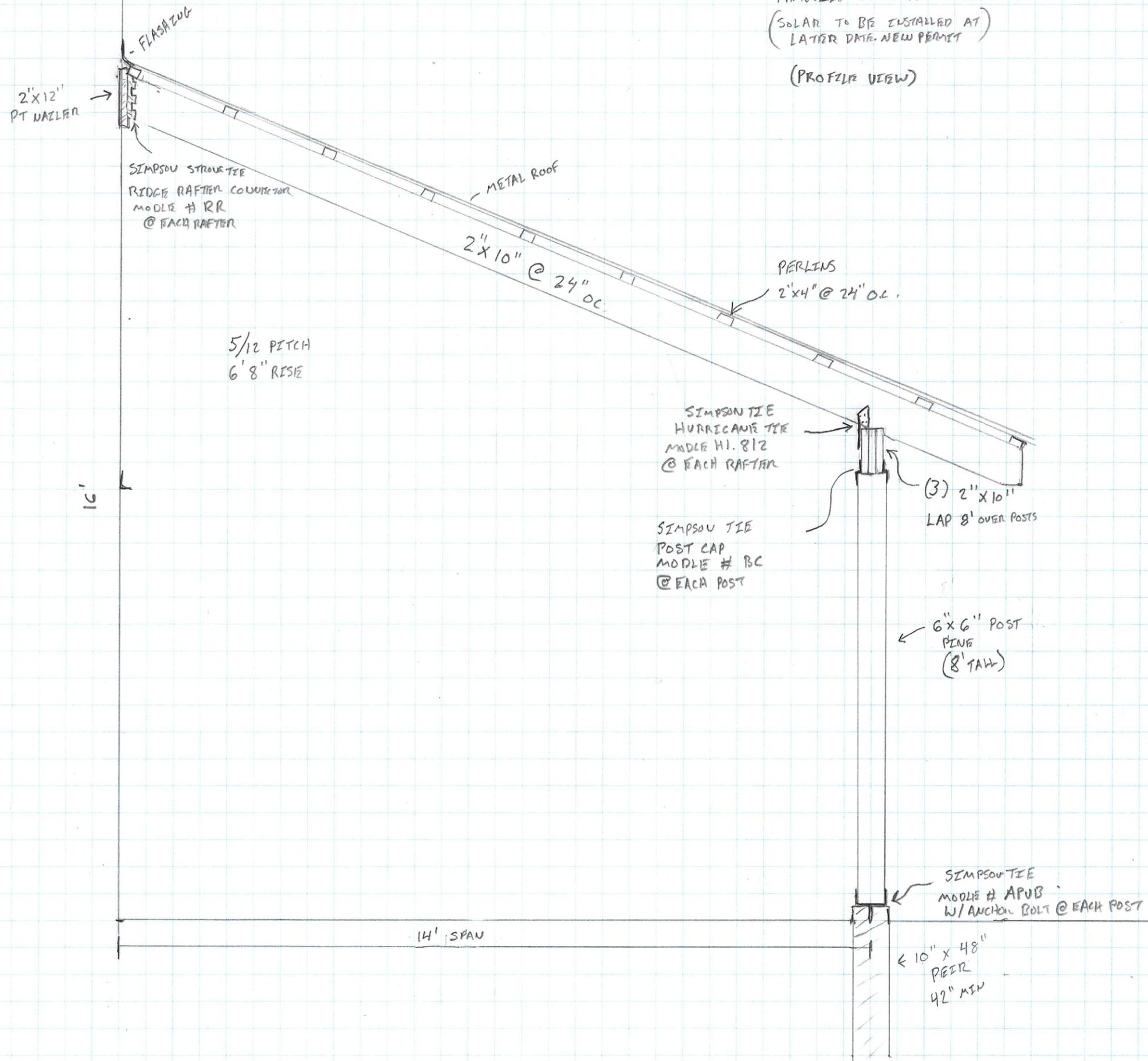
U TREATMENT ...
C ...

321 WEIR ST GLASTONBURY CT

DECK PLANS
(ELEVATION VIEW)



321 WEIR ST. GLASTONBURY
REBUILD OF BARN OVERHANG.
(SOLAR TO BE INSTALLED AT
LATER DATE. NEW PERMIT)
(PROFILE VIEW)



5/12 PITCH
6'8" RISE

16'

14' SPAN

SCALE 1/2" = 1'

SCALE 1/4" = 1 FT

EXT BARN

28' SPAN

2x12 PT
WALL BR

2x10 (RAFTERS)
@ 24" OC
TYP.

2x4
PURLIN
@ 24" OC
TYP.

6x6 POST

(3) 2x10 (BEAM)
LAP AT POSTS
18'

6x6 (POSTS)
11" TALL

8 FT MAX SPAN
EQ

10" x 48"
DEEP

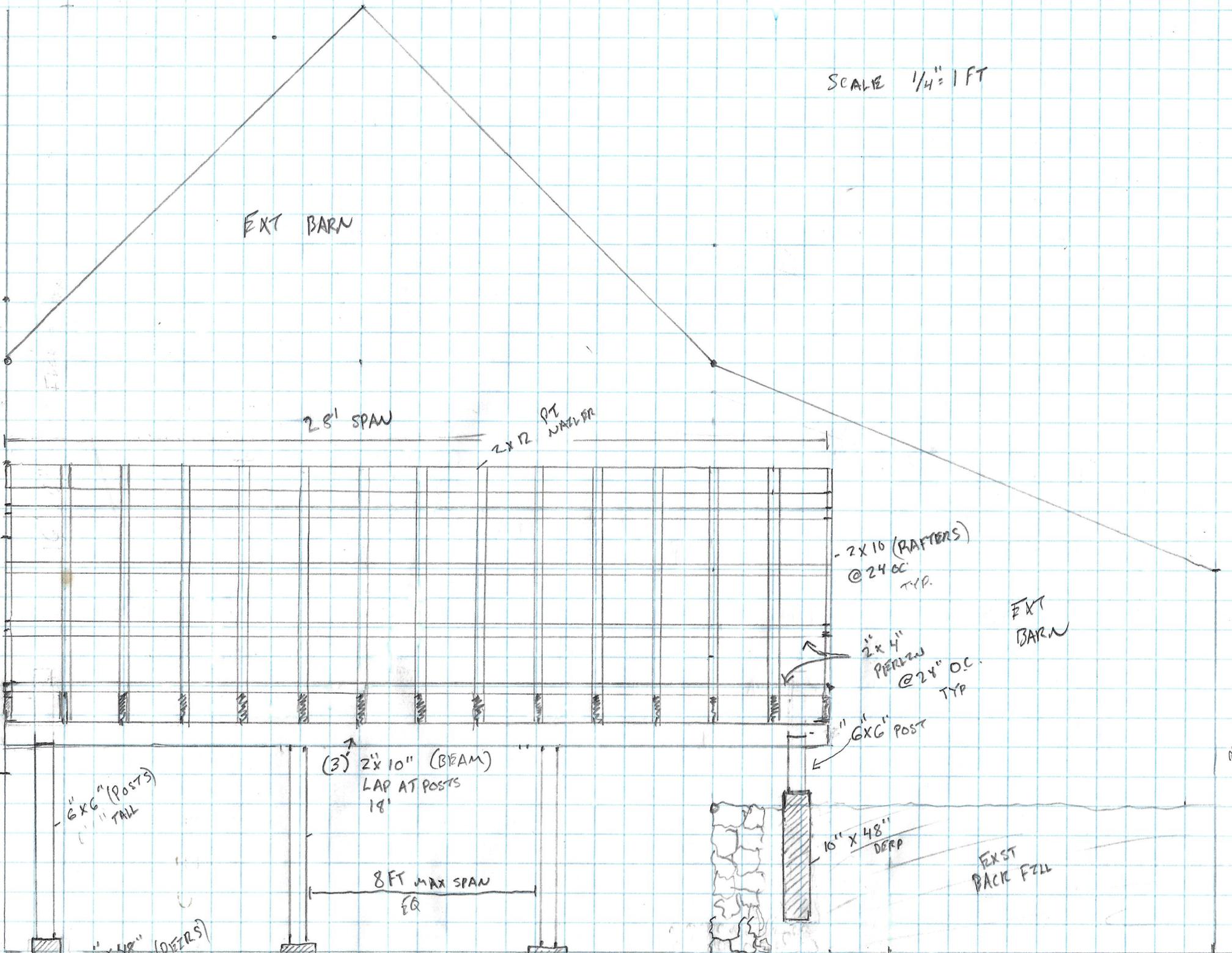
EXT
BACK FILL

10" x 48"
DEEP (PIERS)

28 FT

WALL

BARN
STREET
SIDE



Payment Confirmation

Building Inspection D...

Your \$185.00 payment from ADV PLUS BANKING
*8139 has been submitted.

PAPER CHECK 

DELIVER BY

**September
14**

(Estimated)

Memo 321 Weir Zoning Board of Appeals

Confirmation QPSVX-NHYWF

Your check may be cashed, and the money withdrawn, before, on, or after
September 14, 2020.

Payment Total \$185.00